

2022-07-11

**REQUEST FOR TENDERS  
LIBRARY REFURBISHMENT  
RFQ 34 (2022-06)  
ADDENDUM #1**

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This addendum shall be incorporated into, and form part of RFQ 34 (2022-06) and take precedence over all requirements of the previously issued bid documents including plans. This addendum must be signed by the bidder (signing officer) in the appropriate space and must be attached to the Form for submission by the bidder. This Addendum consists of four (4) pages and the attached documents.

1. **QUESTION:** Telephone/Data – on previous jobs we have provided a box, EMT & pull string to the ceiling space. Please confirm that is the requirement here.

**RESPONSE:** Contractor to run the phone/data cabling to the closest switch. See electrical room location on plan A3.03.

2. **QUESTION:** Will the new partitions require sound batt in the stud space?

**RESPONSE:** Yes. Use Roxul Safe 'n' Sound for the entire partition. Client must approve if different.

3. **QUESTION:** Please confirm entire space and corridor wall is to be painted.

**RESPONSE:** Yes. The entire space (four new rooms) and the corridor must be primed & painted. Colour specs: Benjamin Moore, 1458-B1 & 2115-50 (accent wall colour). Accent wall TBD on site.

4. **QUESTION:** Are the doors to be plastic laminate faced or paint grade? If laminate – please provide a laminate & colour.

**RESPONSE:** Please use plastic laminate. Colour to match existing doors. TZ to decide based on samples.

5. **QUESTION:** Please confirm sidelite is 10" wide.

**RESPONSE:** Yes. See the new plan A3.03 – Door and window schedule

6. **QUESTION:** T-stats – please confirm only 1 since there is only one VAV box in the ceiling.

**RESPONSE:** The existing thermostat will be relocated into the “event staff room”. Please, quote for relocation of only 1 thermostat (the existing one) controlling the five locations. Separately quote the additional price option of adding three additional new thermostats w/ vav boxes and all associated hardware/equipment: 1 controlling both office spaces, 1

controlling the team touchdown space and 1 controlling the curator room. The quote must include all associated mechanical equipment.

7. **QUESTION:** I believe this is a ducted R/A system. Please confirm. If not and there is a single R/A ducted to the space there should be air transfer ducts at each room where the partitions go to the u/s of deck.

**RESPONSE:** There is only a single R/A duct to the ceiling space. Air transfer openings will be required in the ceiling spaces.

8. **QUESTION:** Is this area on the BAS? If yes will the Zoo be responsible for updating the system to this design?

**RESPONSE:** The space won't be added to the BAS at this time.

9. **QUESTION:** Do you want a door closer on the new corridor door or office doors?

**RESPONSE:** Yes. We want door closers on both doors from corridor into rooms. Do not use closers at the interior offices' doors. See plan A3.01.

10. **QUESTION:** What about kickplates?

**RESPONSE:** Yes. Only one kickplate is needed for the new door from the corridor into event staff room. The two new offices do not require kickplate. The existing door, relocated at the team touchdown room, already has a plate.

11. **QUESTION:** Are the work stations being supplied and installed by the owner?

**RESPONSE:** Yes.

12. **QUESTION:** Are the door frames Hollow metal, or Aluminum?

**RESPONSE:** Solid wood core, with plastic laminate on both sides. Refer to door schedule A3.04

13. **QUESTION:** Do the doors have to be wood?

**RESPONSE:** Refer to response of question 12

14. **QUESTION:** Can you confirm that the new window frame is HM?

**RESPONSE:** Yes. Refer to the new plan A3.03 – Door and window schedule

**15. DELETE DRAWINGS:**

- A0.00 – General Notes, Drawing List and Key Plan
- A1.01 – Existing Layout
- A1.02 – Existing RCP
- A2.01 – Demolition
- A3.01 – Proposed Layout
- A3.01 – Proposed RCP

**REPLACE WITH:**

- A0.00 R1 – General Notes, Drawing List and Key Plan
- A1.01 R1 – Existing Layout
- A1.02 R1 – Existing RCP
- A2.01 R1 – Demolition
- A3.01 R1 – Proposed Layout
- A3.01 R1 – Proposed RCP

**16. ADD DRAWINGS:**

- A2.02 – Demolition RCP
- A3.03 – Thermostats & Location of Electrical Room
- A3.04 – Windows & Doors Schedule

**17. REVISED PRICING FORMS:**

Replace pricing forms with the revised pricing forms from Addendum #1.

Receipt of the Addendum shall be acknowledged as part of your submission.

The Board of Management of the Toronto Zoo reserves the right to reject any or all Tenders or to accept any quotation, should it deem such action to be in its interests.

If you have any queries regarding this matter, please contact Mr. Peter Vasilopoulos, Supervisor, Purchasing & Supply, at 416-392-5916 or by email [pvasilopoulos@torontozoo.ca](mailto:pvasilopoulos@torontozoo.ca).

Yours truly,

Peter Vasilopoulos  
Supervisor, Purchasing & Supply

I/we hereby acknowledge receipt of this addendum and make allowance in my bid.

Signed (Must be Signing Officer of Firm)

Name of Firm

Date:

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END OF ADDENDUM 1

**4.1 QUOTATION PRICING - LUMP SUM PRICE REV.1**

DESCRIPTION	Price complete, excluding HST
To provide all labour, tools, materials and equipment necessary to complete Library Refurbishment - Toronto Zoo, as specified in the quotation documents, drawings and specifications of the RFQ package.	\$
<b>HST</b>	
<b>Total</b>	

**4.2 QUOTATION PRICING – ADITIONAL PRICE**

The following are our Additional Prices for the work listed hereunder. Such work and rates are NOT included in our Lump Sum Price, and to be considered additional to the base scope of work. The non-exclusive individual rates are to include all additional costs associated with mobilization/demobilization, labour, material, taxes (excluding Harmonized Sales Tax), charges, payroll, burden and profit, etc. to facilitate the work listed below.

DESCRIPTION	Price complete, excluding HST
To supply & install three (3) new thermostats w/ vav boxes. Include all associated mechanical equipment. Contractor to carry and coordinate with TZ contractor, Setpoint.	\$
<b>HST</b>	
<b>Total</b>	

COMMITMENT TO DELIVER	YES / NO
Please confirm that you are able to complete the work by: <b>Thursday, 2022-09-15.</b>	

WARRANTY	Specify
Please confirm two (2) year warranty upon completion of the project.	

DISCOUNT	Discount	Days
Discount allowed for prompt payment and period within which invoice must be paid to qualify.	%	

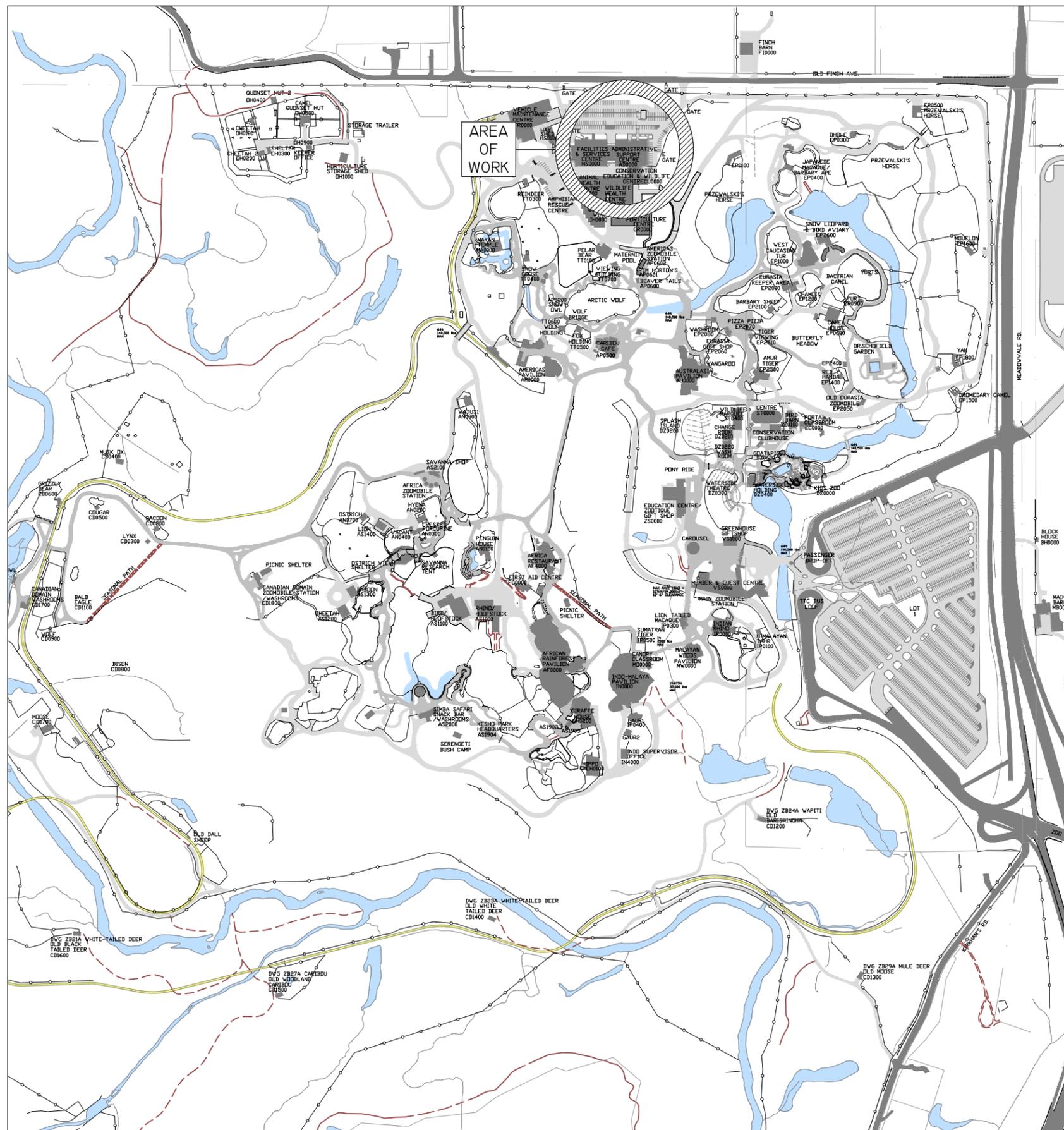
<b>Name of Firm:</b>	
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**GENERAL NOTES:**

1. ALL PROJECT WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE MOST UP TO DATE ONTARIO BUILDING CODE (IF APPLICABLE).
2. ALL DIMENSIONS ARE TO BE VERIFIED ON SITE. DO NOT SCALE THESE DRAWINGS.
3. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE TORONTO ZOO.
4. CONTRACTORS MUST ADHERE TO TORONTO ZOO POLICIES AND OH&S ACT AT ALL TIMES WHEN ON ZOO PROPERTY.
5. CONTRACTORS ARE TO CHECK IN AND OUT AT SECURITY EVERY TIME THEY ARE ENTERING OR EXITING ZOO PROPERTY.
6. ADJACENT AREAS MUST BE PROTECTED DURING SITE WORK, DELIVERY, PLACEMENT AND INSTALLATION OF THE NEW BUILDING.
7. CONTRACTORS ARE TO MAKE GOOD ANY DAMAGES INFLICTED BY THEIR WORK TO ADJACENT AREAS UPON COMPLETION OF THIS PROJECT.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE SUPPLY AND INSTALLATION OF ANY MATERIALS NOT SPECIFICALLY DRAWN OR DESCRIBED BUT REASONABLY IMPLIED AND NECESSARY FOR COMPLETION OF WORK WITHOUT ADDITIONAL COSTS UNDER HIS OR HER CONTRACT.

**DRAWING LIST:**

△1	A0.00	GENERAL NOTES, DRAWING LIST AND KEY PLAN	NTS
△2	A1.01	EXISTING LAYOUT	1/4" = 1'-0"
△3	A1.02	EXISTING RCP	1/4" = 1'-0"
△4	A2.01	DEMOLITION	1/4" = 1'-0"
5	A2.01	DEMOLITION	1/4" = 1'-0"
△6	A3.01	PROPOSED LAYOUT	1/4" = 1'-0"
7	A3.02	PROPOSED RCP	1/4" = 1'-0"
8	A3.03	THERMOSTATS & LOCATION OF ELECTRICAL R.	1/4" = 1'-0"
9	A3.04	WINDOW & DOOR SCHEDULE	3/4" = 1'-0"



361A OLD FINCH AVE.  
TORONTO, ON  
M1B 5K7

NO.	DESCRIPTION	DATE
1	ADDENDUM 1	2022-07-07

NO.	REVISIONS	DATE
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**LIBRARY  
RE-CONFIGURATION**

REVIEWED BY  
MANAGER: BEN KNOOP  
DATE:  
CURATOR:  
DATE:  
APPROVED BY  
COO:  
DATE:

**GENERAL NOTES, DRAWING  
LIST & KEY PLAN**

PROJECT #: 22OP04-A

DRAWN BY: MR

CHECKED BY:

DATE: 2022-06-16

SCALE: NTS

DRAWING #:

A0.00

NO.	DESCRIPTION	DATE
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NO.	REVISIONS	DATE
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**LIBRARY  
RE-CONFIGURATION**

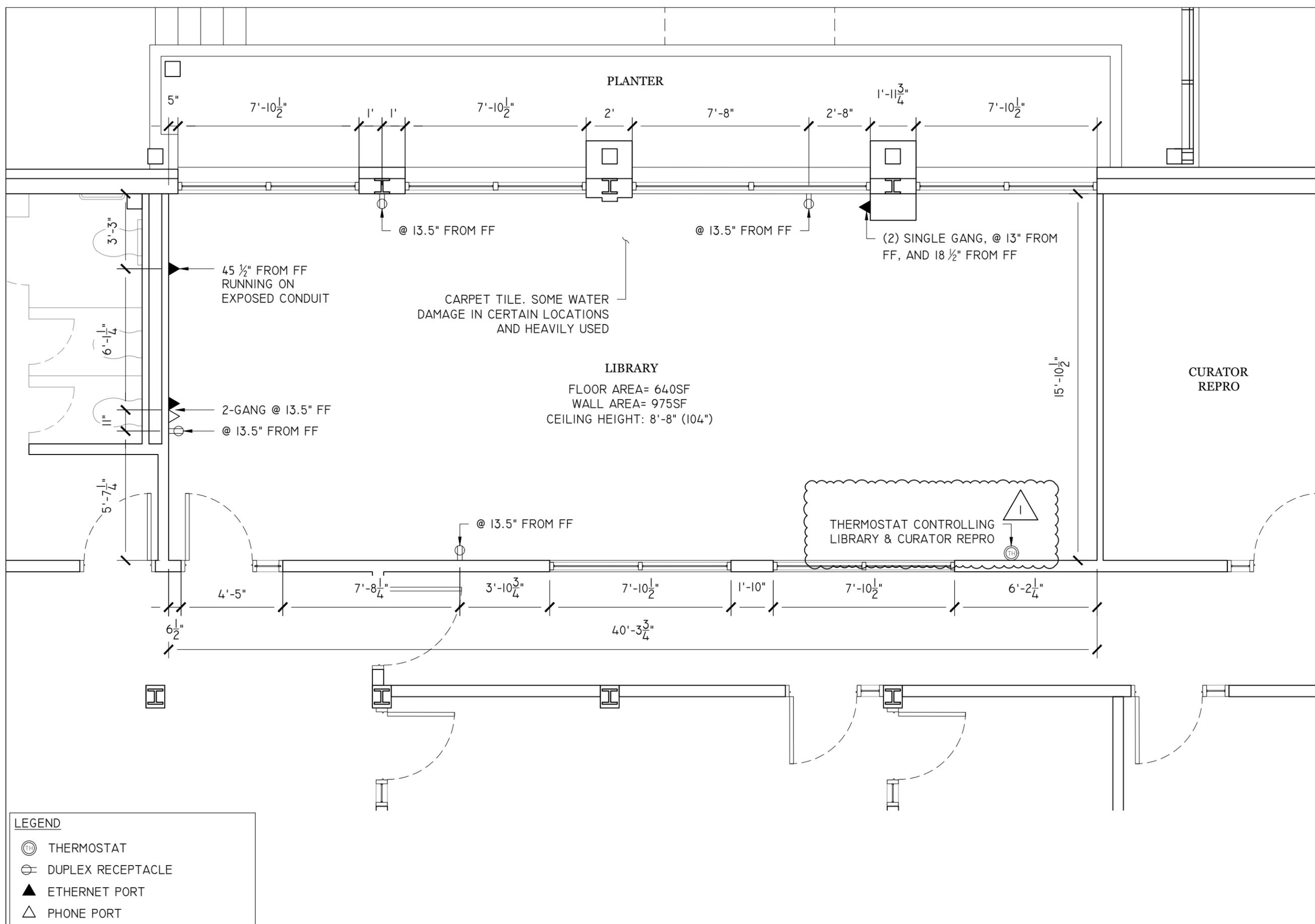
REVIEWED BY  
MANAGER: BEN KNOOP  
DATE:  
CURATOR:  
DATE:  
APPROVED BY  
COO:  
DATE:

**EXISTING  
LAYOUT**

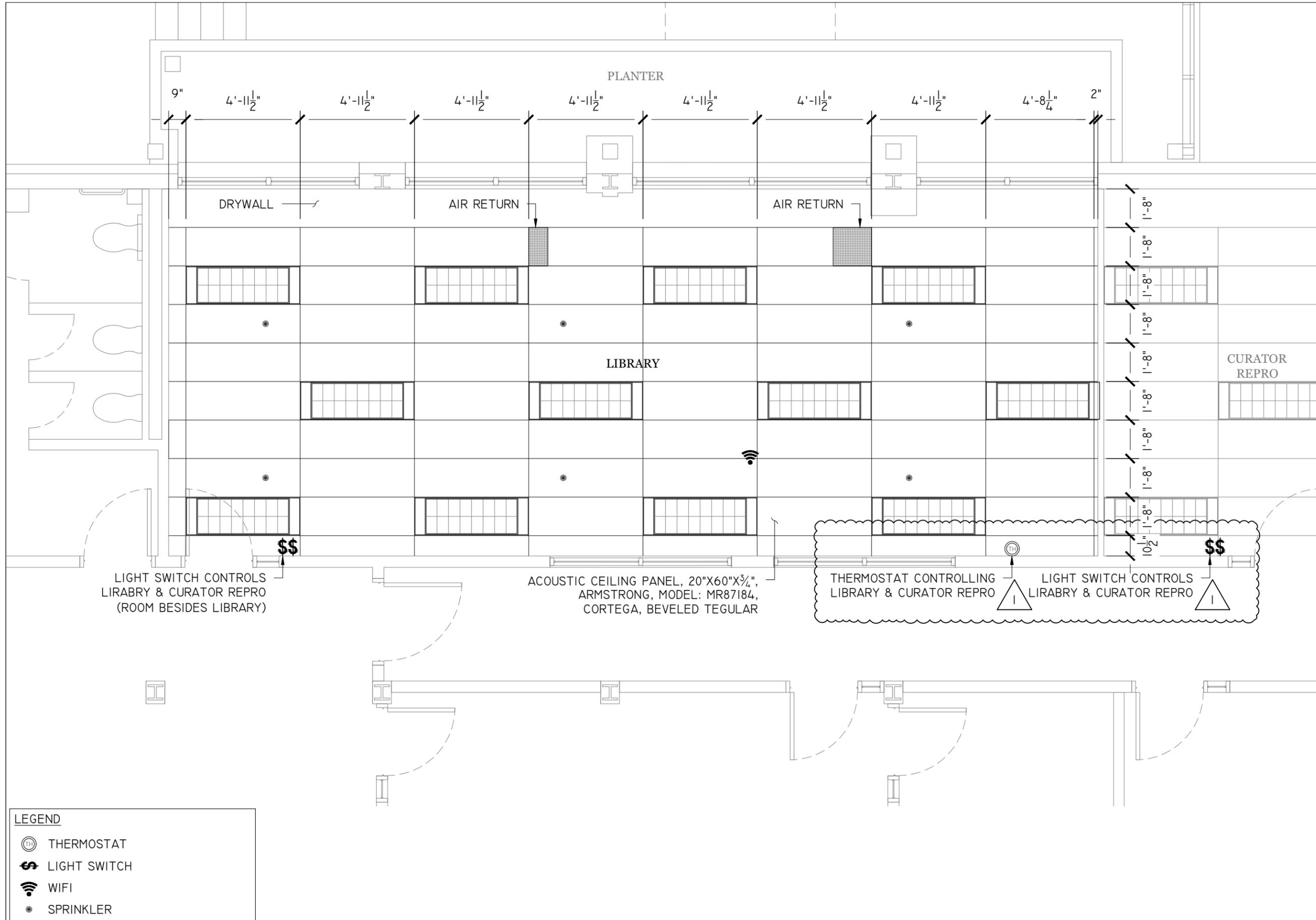
PROJECT #: 22OP04-A  
DRAWN BY: MR  
CHECKED BY:  
DATE: 2022-06-16  
SCALE: 1/4" = 1'-0"

DRAWING #:

**A1.01**



**1 EXISTING LAYOUT**  
SCALE: 1/4" = 1'-0"



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REVIEWED BY  
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DATE:  
CURATOR:  
DATE:  
APPROVED BY  
COO:  
DATE:

**EXISTING  
RCP**

PROJECT #: 22OP04-A  
DRAWN BY: MR  
CHECKED BY:  
DATE: 2022-06-16  
SCALE: 1/4" = 1'-0"

DRAWING #:

**A1.02**

**LEGEND**

	THERMOSTAT
	LIGHT SWITCH
	WIFI
	SPRINKLER

**1 EXISTING REFLECTED CEILING**  
SCALE: 1/4" = 1'-0"

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DATE:  
CURATOR:  
DATE:  
APPROVED BY  
COO:  
DATE:

**DEMOLITION**

PROJECT #: 22OP04-A

DRAWN BY: MR

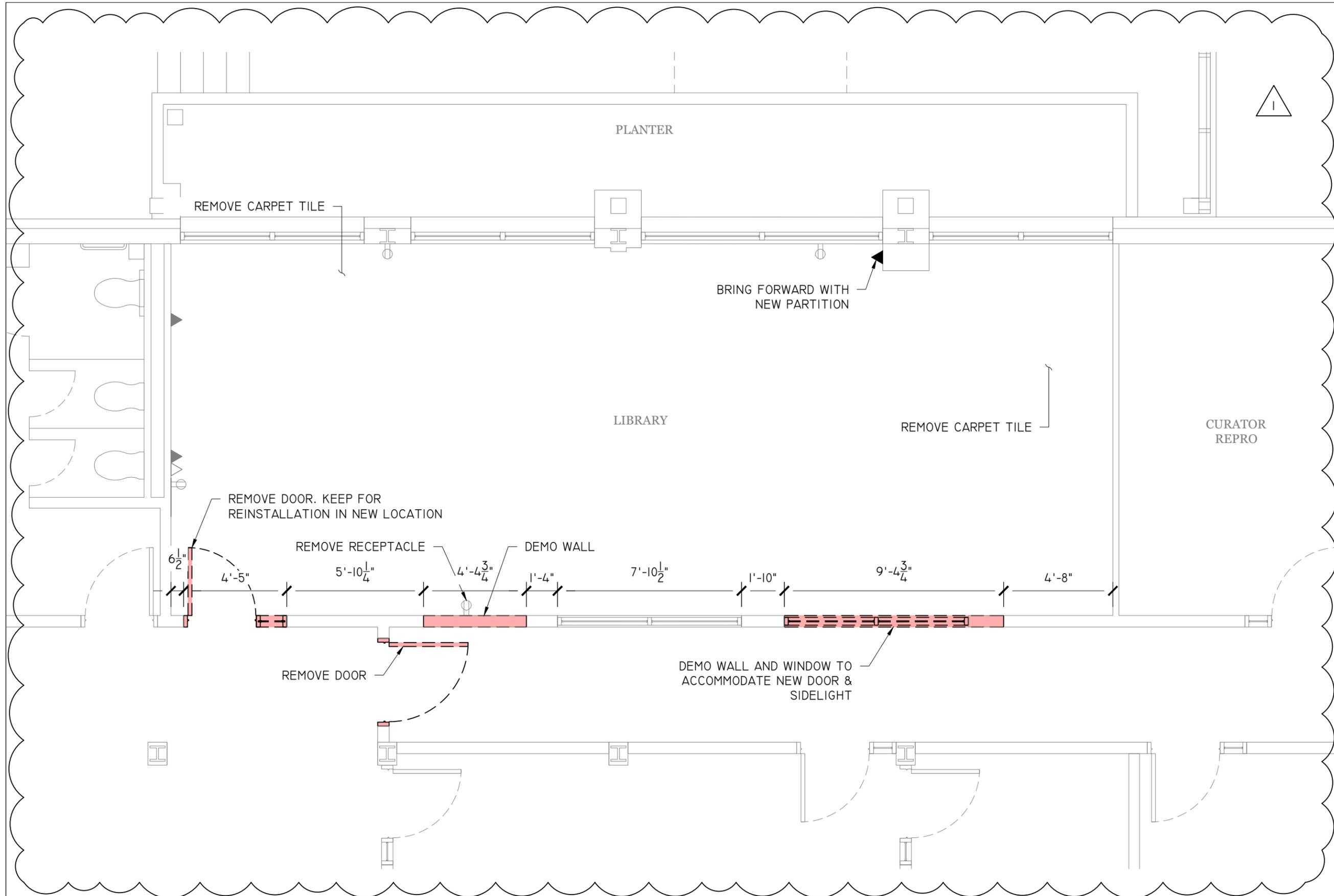
CHECKED BY:

DATE: 2022-06-16

SCALE: 1/4" = 1'-0"

DRAWING #:

**A2.01**



**1 DEMOLITION**  
SCALE: 1/4" = 1'-0"



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RE-CONFIGURATION**

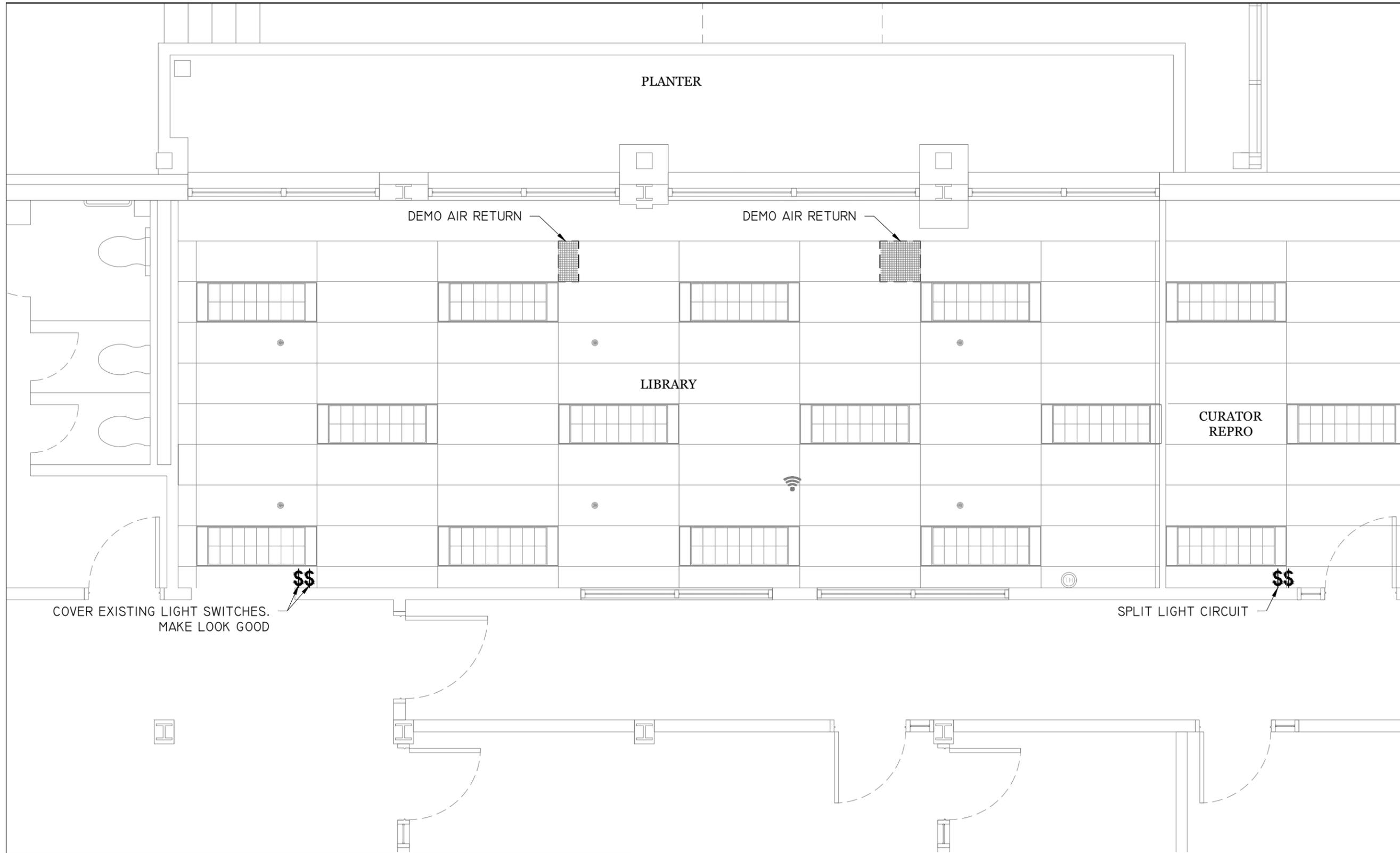
REVIEWED BY  
MANAGER: BEN KNOOP  
DATE:  
CURATOR:  
DATE:  
APPROVED BY  
COO:  
DATE:

**DEMOLITION  
RCP**

PROJECT #: 22OP04-A  
DRAWN BY: MR  
CHECKED BY:  
DATE: 2022-06-16  
SCALE: 1/4" = 1'-0"

DRAWING #:

**A2.01**



LEGEND	NOTES:
<ul style="list-style-type: none"> <li> LIGHT SWITCH</li> <li> WIFI</li> <li> SPRINKLER</li> </ul>	<ul style="list-style-type: none"> <li>- ALL CEILING PANELS AND LIGHTS TO BE DEMOLISHED</li> <li>- REMOVE &amp; DISPOSE LIGHTS</li> <li>- REMOVE &amp; DISPOSE AIR RETURNS</li> </ul>

**1 DEMOLITION - RCP**  
SCALE: 1/4" = 1'-0"

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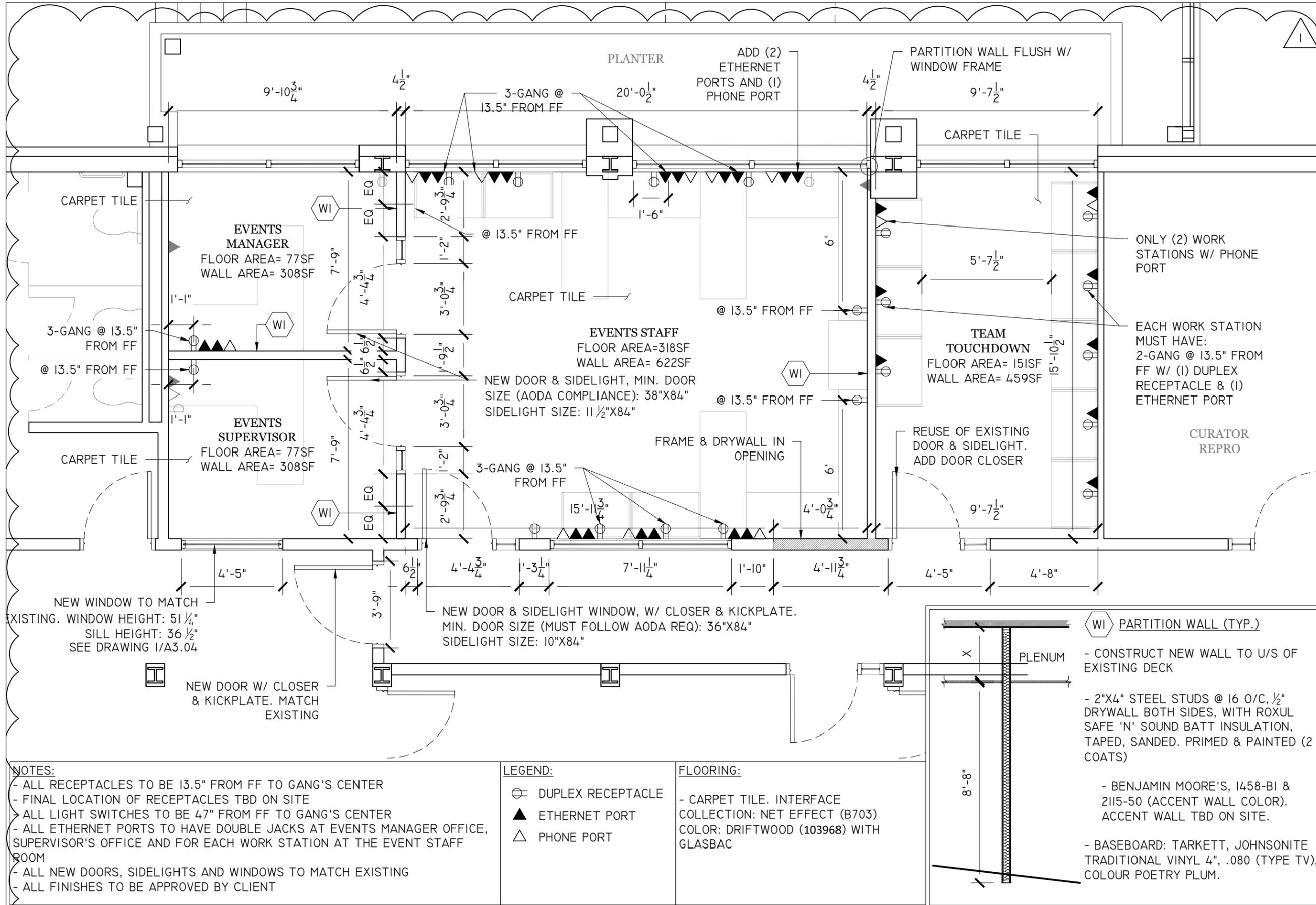


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REVIEWED BY  
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DATE:  
CURATOR:  
DATE:  
APPROVED BY  
COO:  
DATE:

PROPOSED  
LAYOUT

PROJECT #: 22OP04-A  
DRAWN BY: MR  
CHECKED BY:  
DATE: 2022-06-16  
SCALE: 1/4" = 1'-0"  
DRAWING #:



**NOTES:**  
 - ALL RECEPTACLES TO BE 13.5" FROM FF TO GANG'S CENTER  
 - FINAL LOCATION OF RECEPTACLES TBD ON SITE  
 - ALL LIGHT SWITCHES TO BE 47" FROM FF TO GANG'S CENTER  
 - ALL ETHERNET PORTS TO HAVE DOUBLE JACKS AT EVENTS MANAGER OFFICE, SUPERVISOR'S OFFICE AND FOR EACH WORK STATION AT THE EVENT STAFF ROOM  
 - ALL NEW DOORS, SIDELIGHTS AND WINDOWS TO MATCH EXISTING  
 - ALL FINISHES TO BE APPROVED BY CLIENT

**LEGEND:**  
 ○ DUPLEX RECEPTACLE  
 ▲ ETHERNET PORT  
 △ PHONE PORT

**FLOORING:**  
 - CARPET TILE. INTERFACE COLLECTION: NET EFFECT (B703)  
 COLOR: DRIFTWOOD (103968) WITH GLASBAC

**WI PARTITION WALL (TYP.)**  
 - CONSTRUCT NEW WALL TO U/S OF EXISTING DECK  
 - 2"X4" STEEL STUDS @ 16 O/C, 1/2" DRYWALL BOTH SIDES, WITH ROXUL SAFE 'N' SOUND BATT INSULATION, TAPED, SANDED. PRIMED & PAINTED (2 COATS)  
 - BENJAMIN MOORE'S, 1458-B1 & 2115-50 (ACCENT WALL COLOR). ACCENT WALL TBD ON SITE.  
 - BASEBOARD: TARKETT, JOHNSONITE TRADITIONAL VINYL 4", .080 (TYPE TV), COLOUR POETRY PLUM.

**1 PROPOSED LAYOUT**  
 SCALE: 1/4" = 1'-0"



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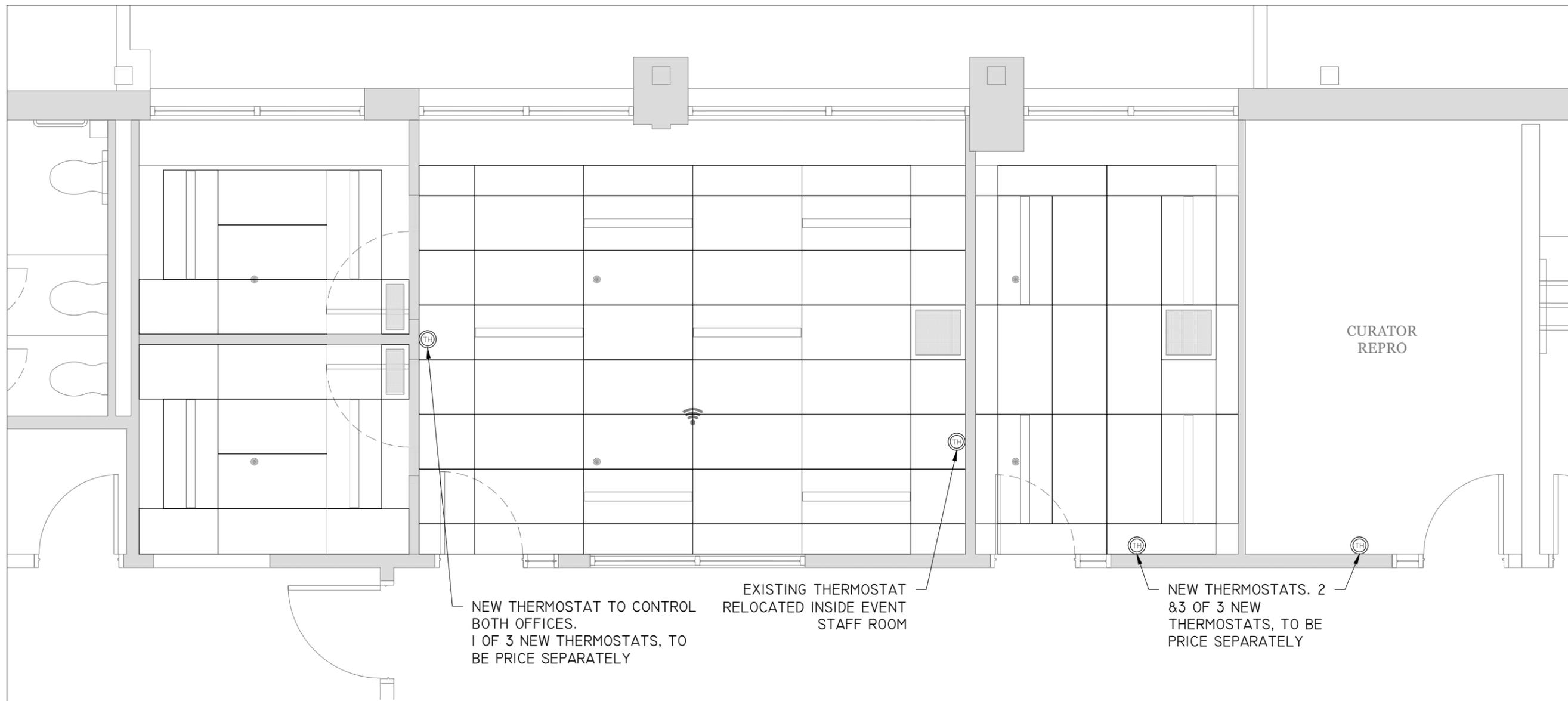
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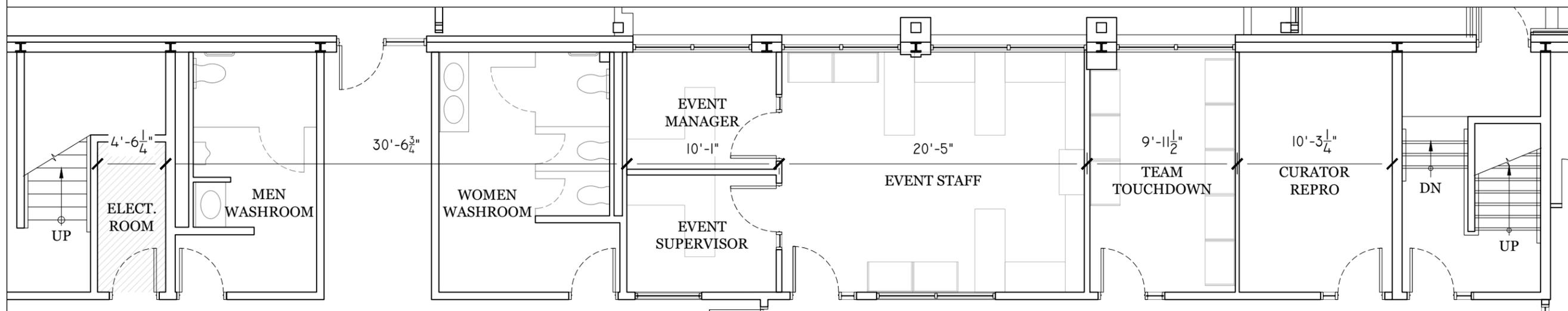
**THERMOSTATS & LOCATION  
OF ELECTRICAL ROOM**

PROJECT #: 22OP04-A  
DRAWN BY: MR  
CHECKED BY:  
DATE: 2022-06-16  
SCALE: 1/4" = 1'-0"  
DRAWING #:

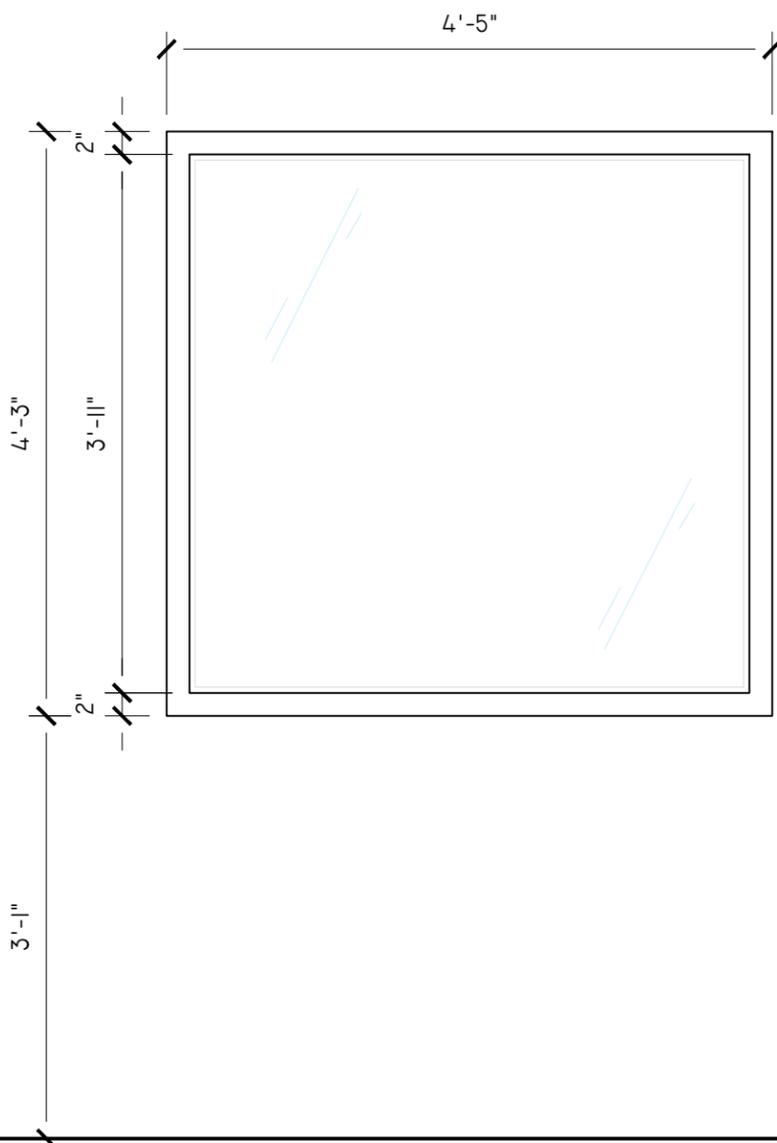
**A3.03**



**1 PROPOSED REFLECTED CEILING**  
SCALE: 1/4" = 1'-0"



**2 LOCATION OF ELECTRICAL ROOM**  
SCALE: NTS



WINDOW SCHEDULE

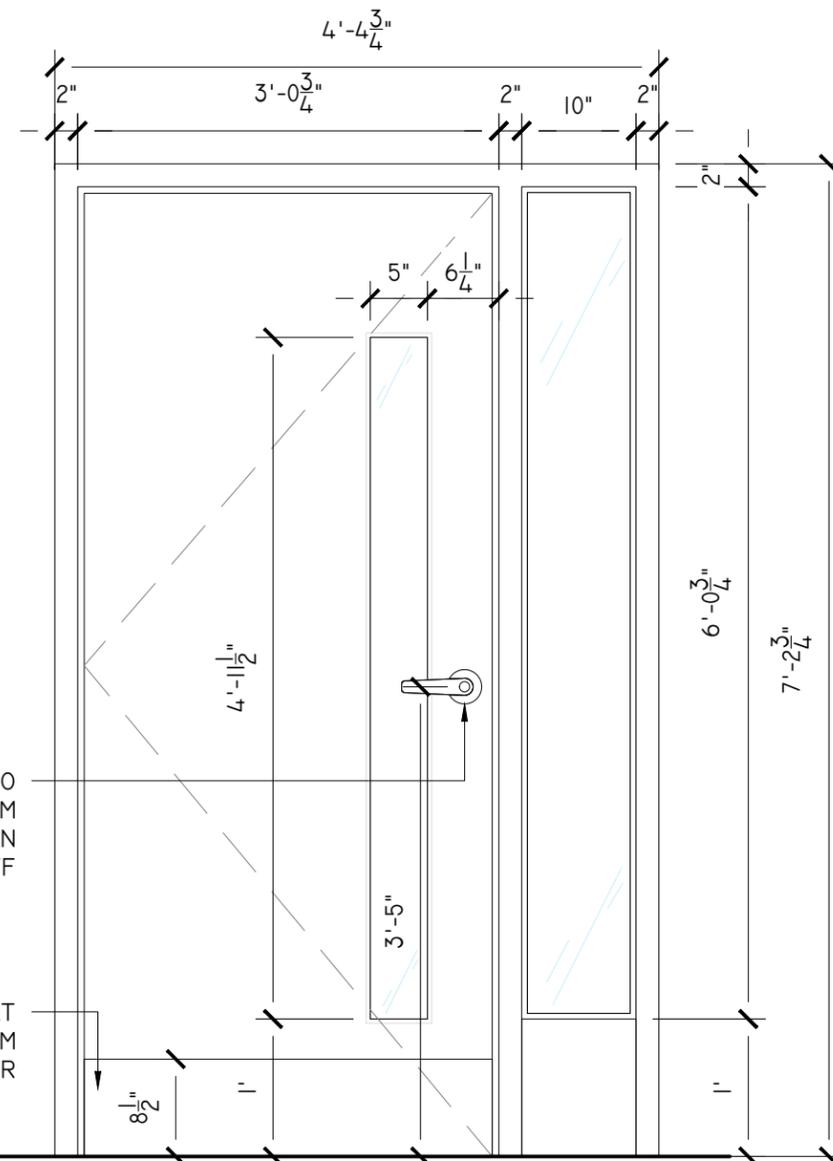
1. SIZE: 53"WX51"H
2. TYPE: FIXED
3. HOLLOW METAL FRAME, PAINTED TO MATCH ADJACENT WINDOWS
4. 5/8" LAMINATED/TEMPERED GLASS

**1 WINDOW SCHEDULE**

SCALE: 3/4" = 1'-0"

DOOR HARDWARE

1. SOLID WOOD CORE DOOR INCLUDING NARROW LITE WITH PLASTIC LAMINATE ON BOTH SIDES, SAME COLOUR AS ADJACENT OFFICE
2. 16 GAUGE FRAME TO ACCOMMODATE DRYWALL PARTITION
3. 2 3/4" BACKSET HOLE PRE-DRILLED FOR STANLEY BEST LOCKS
4. 2 1/8" HOLE FOR STANLEY 93K7ABI5C-S3-626 H.D. ENTRANCE VARSITY SERIES "LEVEL SET" WITH HOUSING FOR "BEST 7-PIN IC-CORE"
5. PREP DOOR AND FRAME FOR 4.5"X4.5" HANGER STANDARD WEIGHT S.S HINGE #AB800-3 PER DOOR



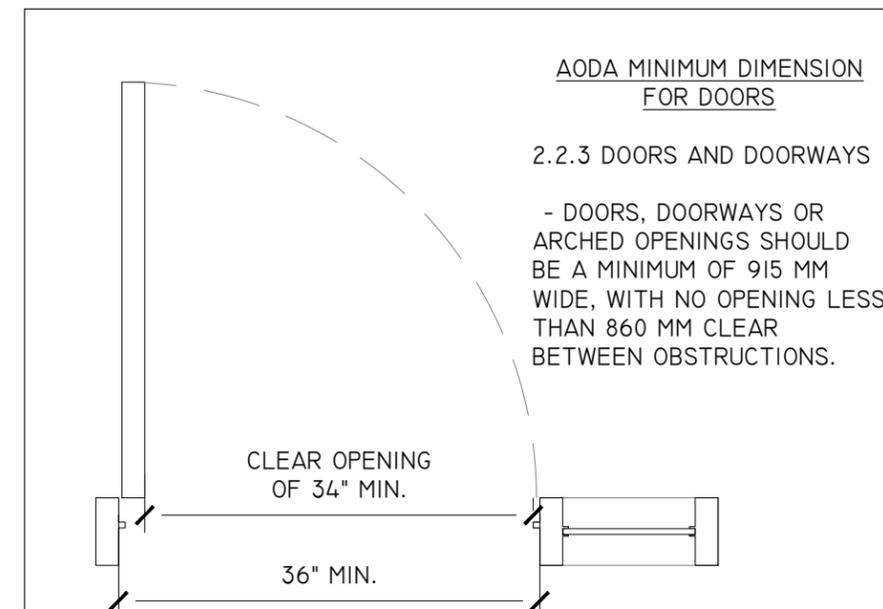
HARDWARE PLACED NO LESS THAN 36" FROM FF AND NO MORE THAN 42" FROM FF

KICKPLATE ONLY AT CORRIDOR-TO-ROOM DOOR

AODA MINIMUM DIMENSION FOR DOORS

2.2.3 DOORS AND DOORWAYS

- DOORS, DOORWAYS OR ARCHED OPENINGS SHOULD BE A MINIMUM OF 915 MM WIDE, WITH NO OPENING LESS THAN 860 MM CLEAR BETWEEN OBSTRUCTIONS.



**2 DOOR SCHEDULE**

SCALE: 3/4" = 1'-0"



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CURATOR:  
DATE:  
APPROVED BY  
COO:  
DATE:

WINDOWS & DOORS  
SCHEDULE

PROJECT #: 22OP04-A  
DRAWN BY: MR  
CHECKED BY:  
DATE: 2022-06-16  
SCALE: 3/4" = 1'-0"  
DRAWING #:

A3.04